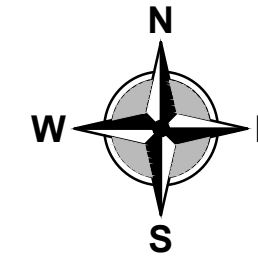


**Building Envelope Plan  
Stage 3  
in the area named  
BLAIR ATHOL**



1:750 @ B3



**LEGEND**

- Denotes garage can be built on boundary.
- S** Denotes single driveway location - 3m wide
- D** Denotes double driveway location - 6m wide
- 5** Single Storey Setback (distance from boundary or tie line shown)
- 2.5** Two Storey Setback (distance from boundary or tie line shown)
- Denotes Single Garage
- Denotes Double Garage

Dwelling must connect to the existing stormwater outlets in the area and provide a combination 3000L rainwater tank (2000L provided for detention with a 20mm office and 1000L provided for retention plumbed to a WC).

The setbacks nominated on this Building Envelope Plan relate to minimum setback guidelines only. Actual requirements may vary, as determined by the relevant authority when a Development Application is submitted. Minimum private open space and maximum site coverage requirements may also apply, which could vary the indicative envelope.

Dimensions and areas are subject to survey.

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LICENSED SURVEYOR

<b>REF:</b> 20A1630.00003	<b>SAHT Order 4069</b>
<b>DWG NO.:</b> 20A1456BEP ST3 REV B	<b>PROJECT No. 76003001</b>
<b>REVISION:</b> B	
<b>DEL</b> 22.06.2021	

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